



# The Magic Faraway Tree

Kanakapura Rd



# Location Map

## Legend

- Schools
- Hospitals
- Mall
- Recreation
- Park
- Lake
- ⋯ Metro Line

18.3 KM to MG Road

70.4 KM from Bangalore International Airport



**The Magic Faraway Tree** takes its name from the beautiful old tree on the edge of the property on Kanakapura Road. The property is elevated, with greenery all around, overlooking small hillocks towards the south.

The property is just 200 meters from the NICE corridor and adjacent to the Silk Institute Metro Station. It's well connected to Electronics City, Hosur Road, Bannerghatta Road, as well as the Industrial areas of Peenya and Bidadi.

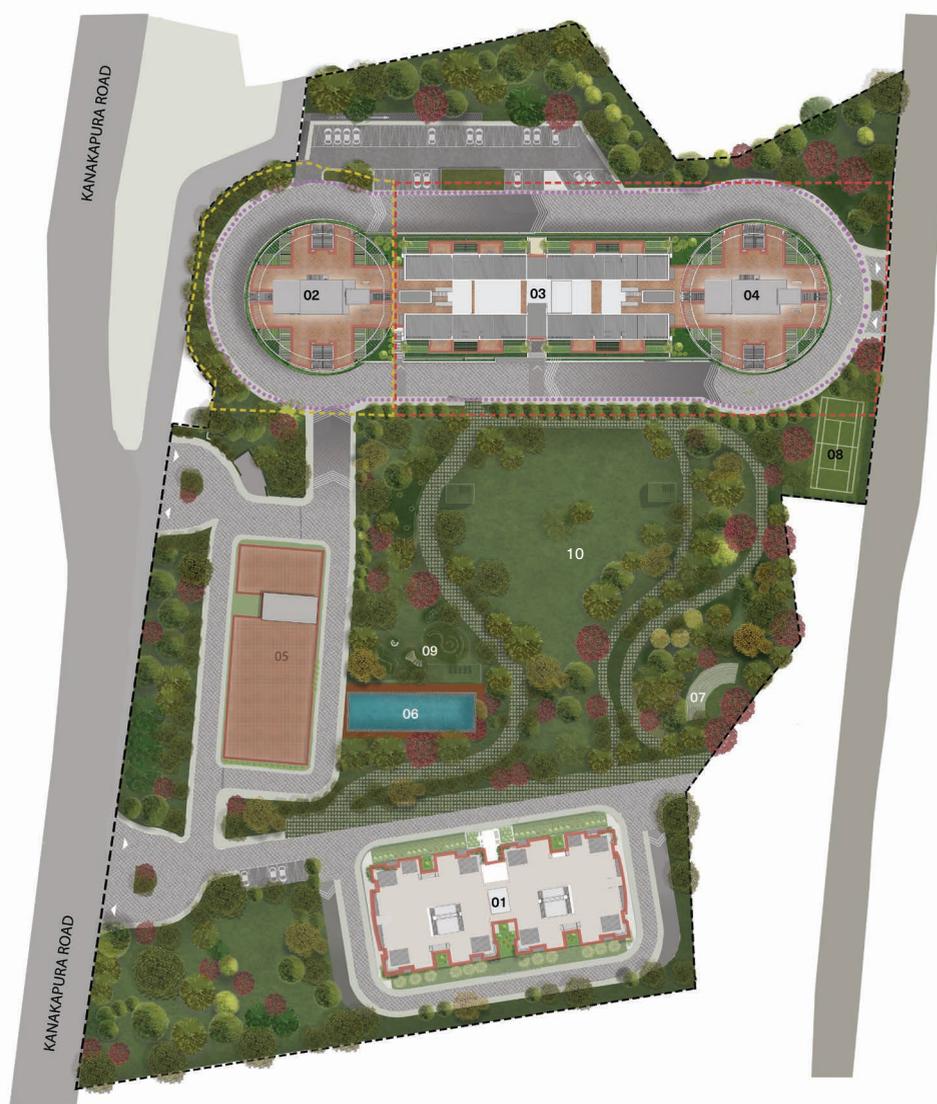
We have tried to perfect our homes over time to provide a sense of warmth, privacy, openness and tranquility in an increasingly stressful world. Almost every space opens out onto a landscaped garden, complete with a sprinkler system and drip irrigation system. Large glass panels bring in ample natural light into the home.

Amenities in the project include a clubhouse with a well-equipped gym, tennis court, swimming pool along with a toddler's pool, table tennis, children's play area and multipurpose hall.

Our commitment to quality extends well beyond the customisation and delivery of your home. We assume responsibility for property maintenance which includes a comprehensive slew of services that ensure competent and timely care of your home.

# Master Plan

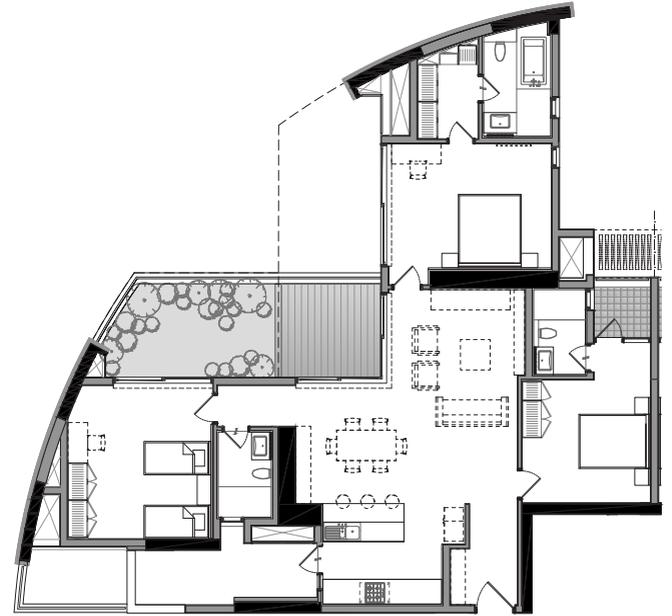
## Phase II



- 01 Tower 01
- 02 Tower 02 - (Phase 2A)
- 03 Tower 03 - (Phase 2)
- 04 Tower 04 - (Phase 2)
- 05 Clubhouse (Future Development)
- 06 Swimming Pool
- 07 Open Air Theatre
- 08 Tennis Court
- 09 Children's Play Area
- 10 Central Green
- Master Development Land
- Phase 2
- Phase 2A
- ..... Jogging Path



## Products



# C20

**Sq Feet**

2,753 - 3,389

**Bedroom**

3

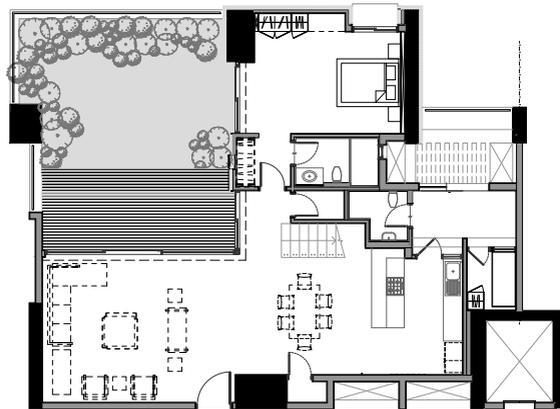
**Bathroom**

3

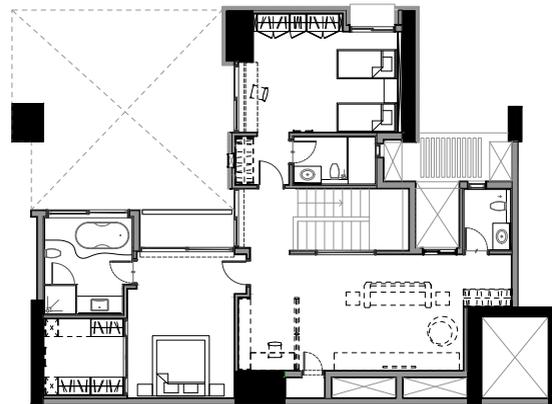
**Variants:** C20v1a | C20v1b | C20g1 | C20g2



## Products



D35V2 Lower Level



D35V2 Upper Level

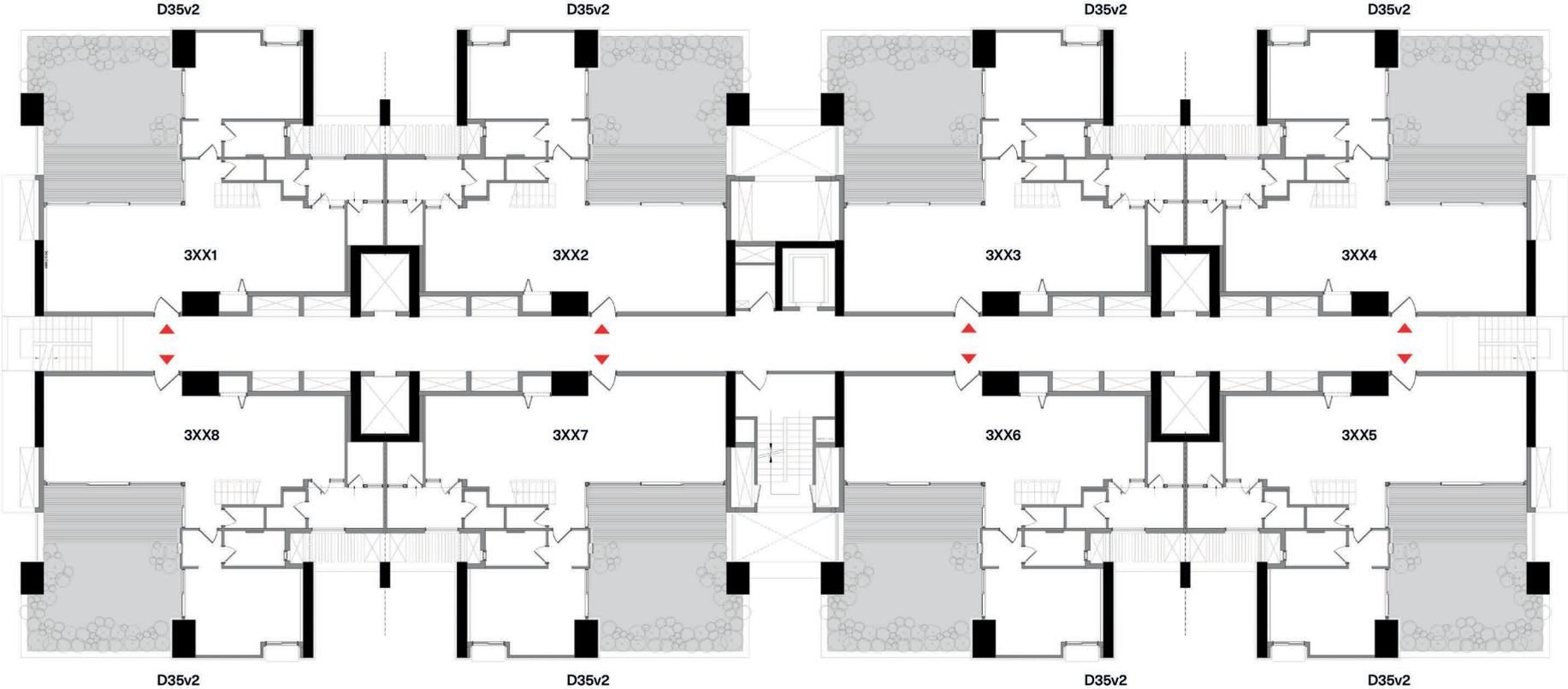
# D35

Sq Feet	Bedroom	Bathroom
4,498 - 4,894	3	4

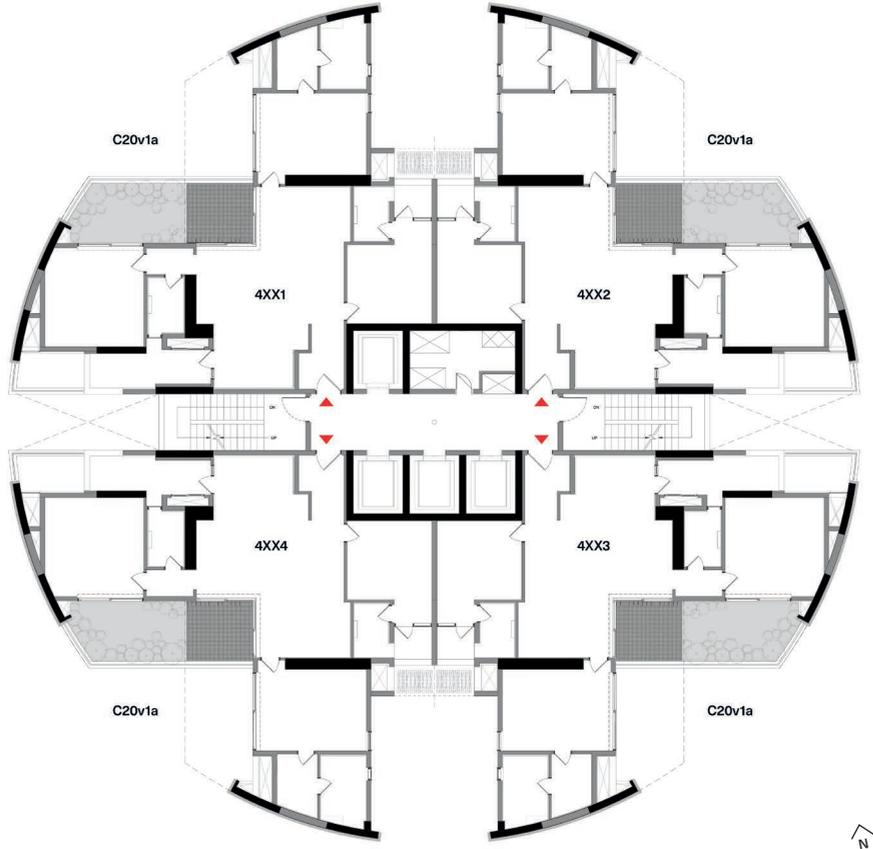
Variants: D35v2 | D35v2g

# Block Plan

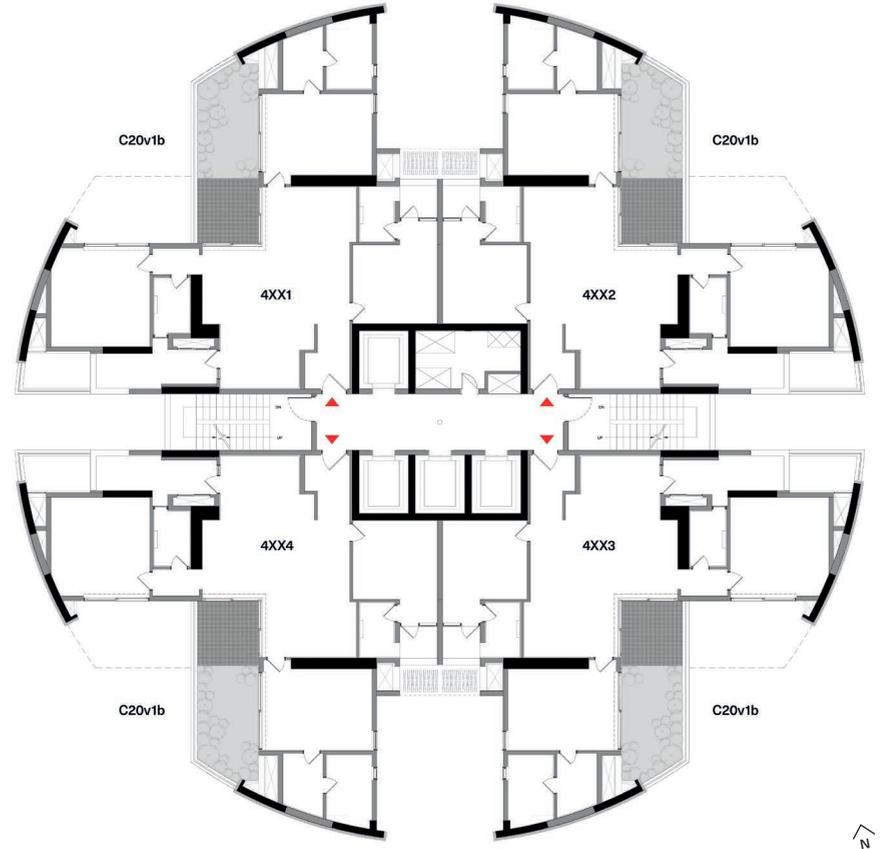
## Tower 3 - Typical Lower Level



# Block Plan



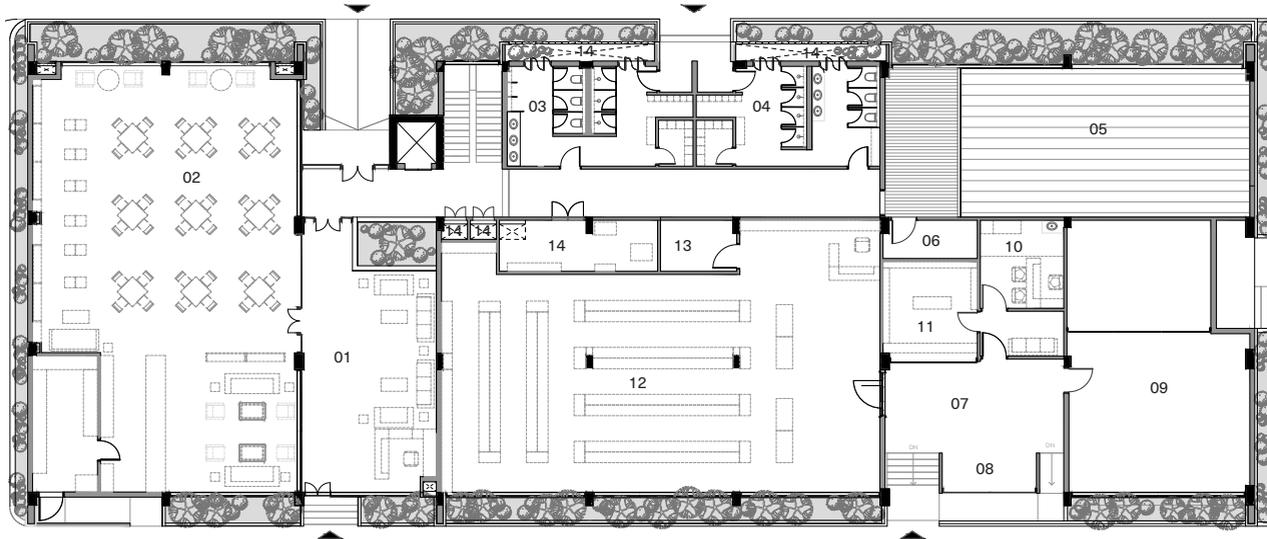
Tower 2 & 4 - Typical Even Level



Tower 2 & 4 - Typical Odd Level

# Clubhouse Floor Plan

## Level 1



### Legend

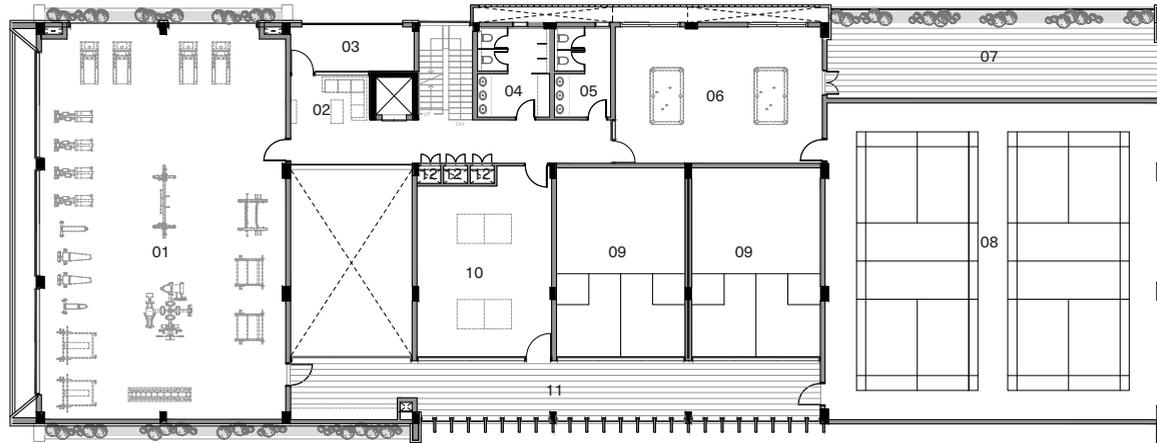
- 01 Reception Lobby - 20' X 34'
- 02 Cafe - 40' X 65'6"
- 03 Gent's Washroom & Changing Room - 28' X 15'
- 04 Ladies Washroom & Changing Room - 27'6" X 15'
- 05 Indoor Heated Pool - 55' X 22'6"
- 06 Store - 14' X 5'6"
- 07 Lobby - 27' X 14'
- 08 ATM - 14' X 5'6"
- 09 Salon - 27' X 41'6"
- 10 Clinic - 12'6" X 20'6"
- 11 Pharmacy - 14' X 14'6"
- 12 Convenience Store - 66'6" X 41'6"
- 13 Store - 11'6" X 7'6"
- 14 Service



*Furniture items have been shown here for providing a reference only. Please refer the section on specifications to understand what is provided under various purchase options.*

# Clubhouse Floor Plan

## Level 2



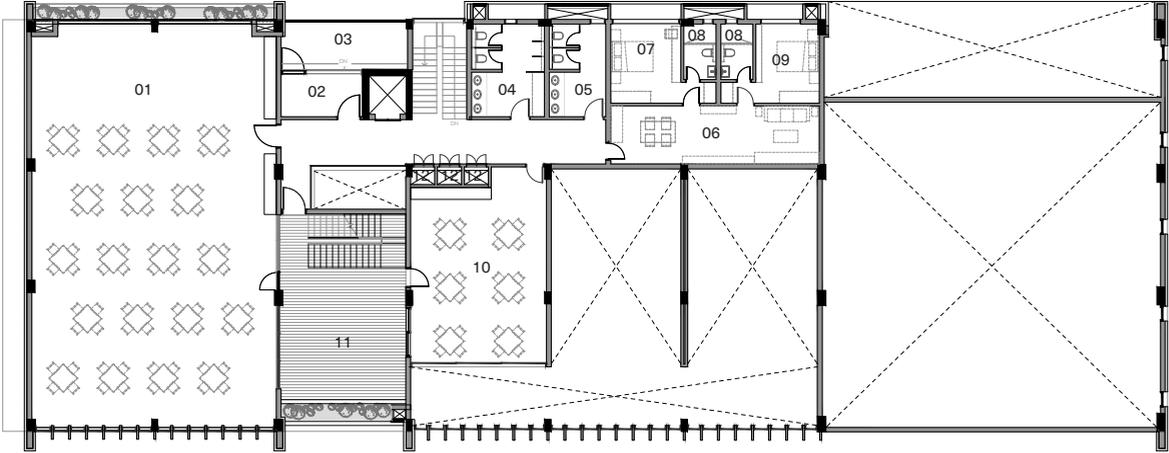
### Legend

- 01 Gymnasium** - 40' X 66'6"
- 02 Seating Area** - 13' X 15'
- 03 Balcony** - 20' X 7'6"
- 04 Gent's Washroom** - 11'6" X 15'
- 05 Ladies Washroom** - 9' X 15'
- 06 Pool/ Billiards** - 34' X 23'
- 07 Deck** - 55'6" X 11'6"
- 08 Badminton Court** - 55' X 53'
- 09 Squash Court** - 21' X 32'
- 10 Indoor Games Area** - 22'0" X 32'6"
- 11 Passage** - 87' X 9'6"
- 12 Service**

*Furniture items have been shown here for providing a reference only. Please refer the section on specifications to understand what is provided under various purchase options.*

# Clubhouse Floor Plan

## Level 3



### Legend

- 01 Multi-purpose Hall - 40' X 66'6"**
- 02 Store - 13' X 7'**
- 03 Balcony - 20'6" X 8'**
- 04. Gent's Washroom - 11'6" X 15'**
- 05. Ladies Washroom - 9' X 15'**
- 06. Living /Dining - 34' X 9'6"**
- 07. Guest Suite 01 - 11'6" X 13'**
- 08. Bathroom - 5' X 9'6"**
- 09. Guest Suite 02 - 10' X 13'**
- 10. Board Games Area - 22'x32'6"**
- 11. Deck - 20'6" X 30'6"**
- 12. Service**

*Furniture items have been shown here for providing a reference only. Please refer the section on specifications to understand what is provided under various purchase options.*

# Amenities



Gymnasium



Children's Play Area



Swimming Pool

- Swimming Pool
- Gymnasium
- Billiards / Snooker
- Table Tennis
- Board Games
- Multi-purpose Hall
- Tennis Courts
- Children's Play Area
- Central Greens



Photograph of the Living Room

*This image depicts the fully furnished product specifications (different from green, blue and purple)*

# Fact File

The Magic  
Faraway  
Tree

Kanakapura Rd

## Project

Master Development Land Area	9.65 acres
Residential Development Land Area	7.3 acres
Project Land Area Phase 2	2.26 acres
Total Number of Units in Residential Development	434
Available Products in Project	C20, D35
Approvals Obtained	AIRPORT, BWSSB, BESCO, FIRE, MOEF, BDA, BBMP, KIADB, BMRC, RERA
RERA Registration Number	Phase 2 : PRM/KA/RERA/1251/310/PR/171015/000424 Phase 2a : PRM/KA/RERA/1251/310/PR/181204/002194

## Location

Distance from CBD [Km]	18.6 km to MG Road
Distance from Airport [Km]	58.2 km to BIA
Nearest Hospital [Km]	10.6 km to Fortis Hospital
Nearest Good School [Km]	5.6 km to Sri Kumaran Public School
Nearest Upmarket Mall [Km]	11.6 km to Royal Meenakshi Mall
Nearest 5 Star Hotel [Km]	11.8 km to La Marvella



Photograph of Guest Bedroom and Terrace Garden at Lower Level

*This image depicts the fully furnished product specifications (different from green, blue and purple)*



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